



Planning and Community Development Department

Planning Division

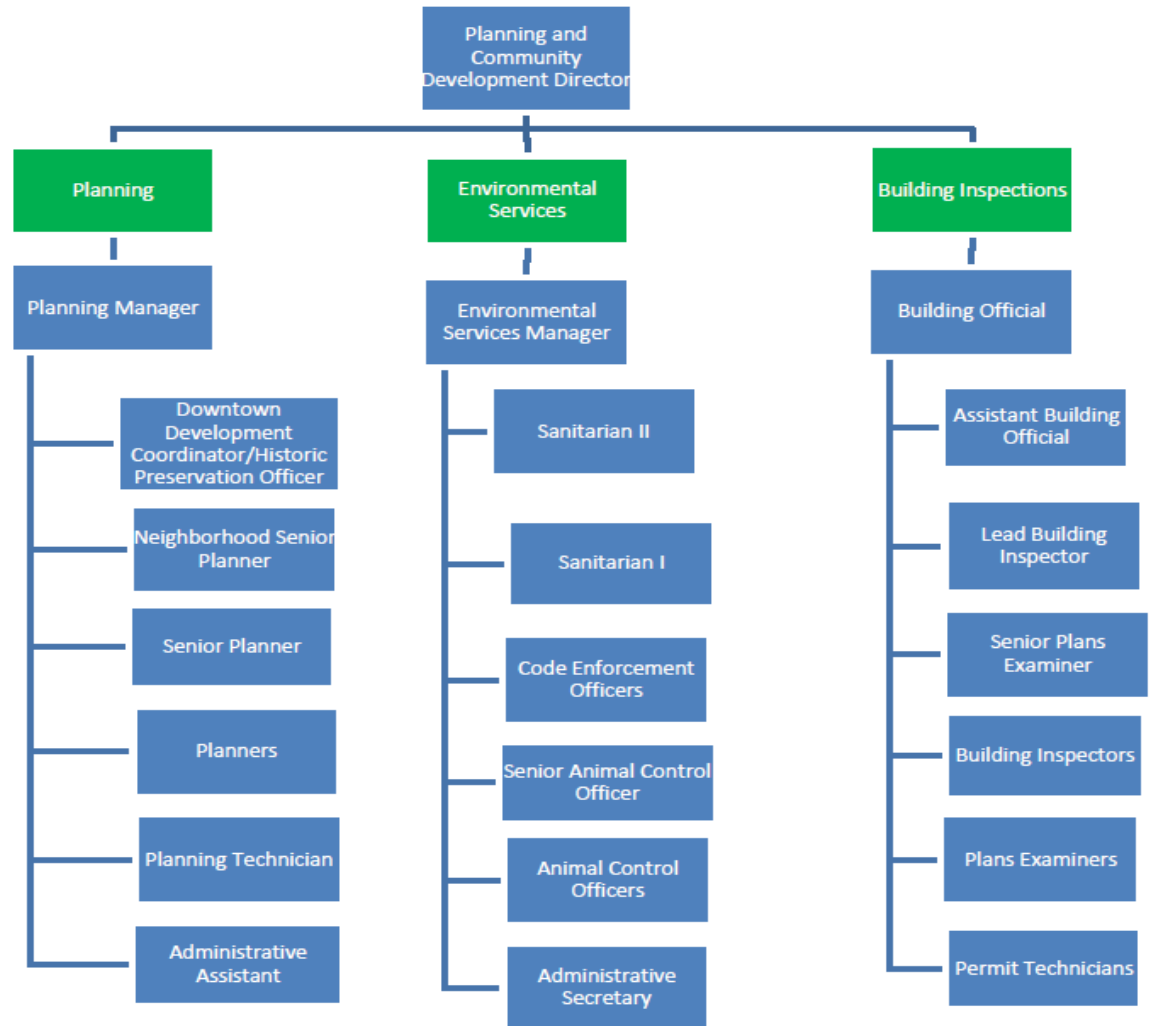
2016 Annual Report

PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT

Christopher J. Looney, AICP *Director,
Planning & Community
Development Department*

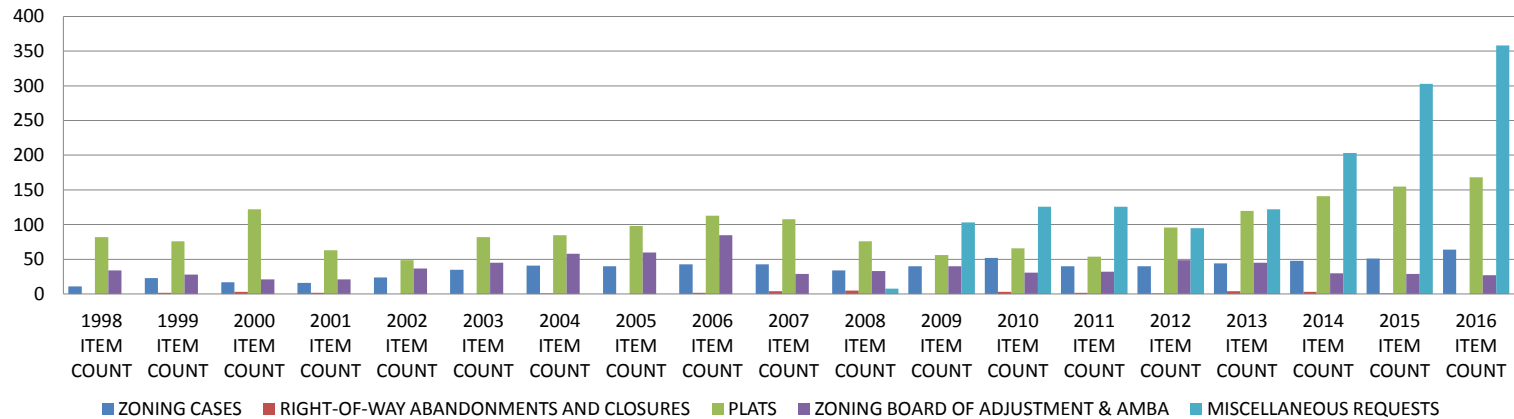
Planning Division Staff

<p>Stacy A.M. Snell, AICP, CNU-A Amy McWhorter</p> <p>Holly Mullins, AICP Matt Greene, CFM Matthew W. Simmont Benjamin W. Campbell Matt Johnson Cydnie K. Samora Katherine Crowe Ben Griffith</p>	<p><i>Planning Manager</i> <i>Downtown Dev. Coordinator / Historic Preservation Officer</i> <i>Senior Planner</i> <i>Planner</i> <i>Planner</i> <i>Planning Technician</i> <i>Administrative Assistant</i> <i>Intern (unpaid)</i> <i>Intern (unpaid)</i></p>
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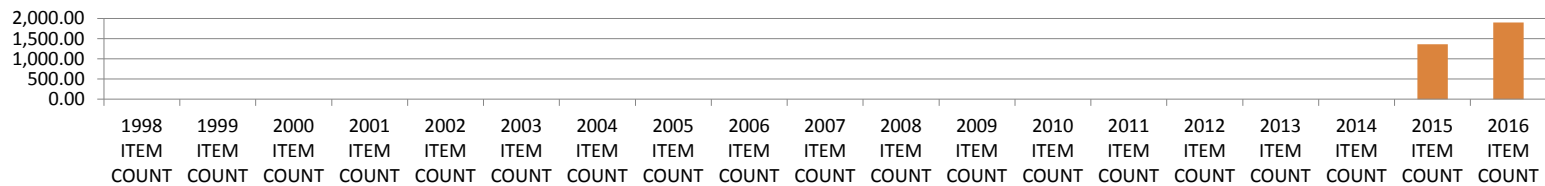


ANNUAL REPORT - COMPARISON FROM 1998 TO 2016

	1998 ITEM COUNT	1999 ITEM COUNT	2000 ITEM COUNT	2001 ITEM COUNT	2002 ITEM COUNT	2003 ITEM COUNT	2004 ITEM COUNT	2005 ITEM COUNT	2006 ITEM COUNT	2007 ITEM COUNT	2008 ITEM COUNT	2009 ITEM COUNT	2010 ITEM COUNT	2011 ITEM COUNT	2012 ITEM COUNT	2013 ITEM COUNT	2014 ITEM COUNT	2015 ITEM COUNT	2016 ITEM COUNT
ZONING CASES	11	23	17	16	24	35	41	40	43	43	34	40	52	40	40	44	48	51	64
RIGHT-OF-WAY ABANDONMENTS AND CLOSURES	0	2	3	2	0	0	1	0	2	4	5	0	3	2	1	4	3	1	0
PLATS	82	76	122	63	49	82	85	98	113	108	76	56	66	54	96	120	141	155	168
ZONING BOARD OF ADJUSTMENT & AMBA	34	28	21	21	37	45	58	60	85	29	33	40	31	32	49	45	30	29	27
MISCELLANEOUS REQUESTS	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	8	103	126	126	95	122	203	303	358
BUILDING PERMIT REVIEWS	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	1358	1897



BUILDING PERMIT REVIEWS



Zoning Changes and Special Use Permits - 2016

MONTH	Case No.	DESCRIPTION / APPLICANT	ADDRESS	CURRENT ZONING	PROPOSED ZONING	DESCRIPTION OF SUP / PD	STATUS
<p>Zoning is the division of a city by legislative regulations into areas, or zones, which specify allowable uses for real property and size/location restrictions for buildings/uses within these areas. Also, it is a program that implements policies of the comprehensive plan. A Special Use Permit is a permit issued as a flexibility device to enable the city council to authorize the use of property while ensuring compatible and orderly development by assigning dimensions to a proposed use or conditions surrounding it after consideration of adjacent uses and their functions and the unique impacts which the proposed use creates.</p>							
January	PZ-16-001	POST ROAD DEVELOPMENT PD AKA HEATHER GLEN	1911 POST	M-1	PD	SINGLE FAMILY & MULTIFAMILY	APPROVED
	PZ-16-002	CANYON RESERVE PD	510 KOWALD	R-2	PD	DUPLEX	APPROVED
	PZ-15-052	MISSION HILL PARK SPECIAL DISTRICT	INDEPENDENCE / OAK RUN	APD, C-1Br81, MU-Br82	MHSD		WITHDRAWN
Feb	PZ-16-003	ED THERIOT	2000 WALNUT	APD	SUP	RETAIL IN APD	APPROVED
	PZ-16-004	PAUL RINGMACHER	1182 OLD FM 306	R-3	C-1A		APPROVED
	PZ-16-005	ROBERT HORTON	2432 FM 725	R-1	C-1B		APPROVED
March	PZ-16-006	PARKRIDGE ESTATES PD AMENDMENT	COUNTY LINE / NORTH RIDGE	PD	PD	SINGLE FAMILY	APPROVED
	PZ-16-007	STEPHANIE BASCON	920 CASTELL	SND-1	SUP	OFFICE USE	APPROVED
	PZ-16-008	GROTHUES FINANCIAL LTD - KEVIN SULLIVAN	500 SAENGERHALLE	APD	R-1A-6.6		APPROVED
	PZ-16-009	TEXAS TRACTOR SALES	1175 FM 306	C-1	SUP	TRACTOR SALES & REPAIR	APPROVED
April	PZ-16-010	DAKMD- JOE ACOSTA - TIED TO PZ-16-048	2003 FM 1101	PD	C-1A		APPROVED
	PZ-16-011	CREEKSIDE FARMS PD AMENDMENT	2838 GOODWIN	PD	PD	SMALL LOT SIZE	APPROVED
	PZ-16-012	HMT FOR ROBERT NOHRN	331 WATER	R-2	R-3L	SINGLE FAMILY	APPROVED
	PZ-16-013	COTTON COTTAGES PD AMENDMENT	1372 HANZ	PD	PD	SINGLE FAMILY	APPROVED
May	PZ-16-014	HEATHER GLEN UNIT 1 DETAIL PLAN AKA POST ROAD	1911 POST	R-1A-6.6	PD	SINGLE FAMILY	APPROVED
	PZ-16-015	HEATHER GLEN PHASE 2 DETAIL PLAN AKA POST ROAD	1911 POST	R-1A-6.6	PD	SINGLE FAMILY	APPROVED
	PZ-16-016	MIKE LANCASTER FOR JUDITH RATH	274 GARZA	C-1A	SUP	SINGLE FAMILY RESIDENCE IN C-1A	APPROVED
	PZ-16-017	PHILLIP MORRIS FOR TERESA GOMEZ	2464 FM 725	R-1 & APD	SUP	OUTDOOR WEDDING/ SPECIAL EVENT VENUE & SHORT TERM RENTAL OF SFR	WITHDRAWN
	PZ-16-018	MOELLER FOR JACK SCANIO	1964 LOU ANN	APD	R-1A-6.6		DENIED
	PZ-16-019	CITY OF NEW BRAUNFELS PUBLIC WORKS	2300 IH 35	R-1	C-1B		APPROVED

Zoning Changes and Special Use Permits - 2016

MONTH	Case No.	DESCRIPTION / APPLICANT	ADDRESS	CURRENT ZONING	PROPOSED ZONING	DESCRIPTION OF SUP / PD	STATUS
	PZ-16-020	ROBERT HORTON FOR LEE ALLS	2416 & 2432 FM 725	C-1B	SUP	FACILITY, OFFICE SPACE FOR LEASE AND RETAIL SALES OF STORAGE RELATED SUPPLIES	APPROVED
June	PZ-16-022	VULCAN REALTY	645 FLORAL	R-3	C-1A		APPROVED
	PZ-16-023	JEFF PARAS	353 MILL	M-1	SUP	SHORT TERM RENTAL OF A STRUCTURE	APPROVED
	PZ-16-024	WASSER RANCH PD	3075 GOODWIN	C-1AR63	PD	SINGLE FAMILY	APPROVED
	PZ-16-025	MOELLER FOR GILBREATH & SCANIO	1584 WELTNER	APD	R-1A-6.6		APPROVED
	PZ-16-026	TOWN CREEK PD CONCEPT PLAN AMENDMENT	WALNUT / CEDAR	PD	PD	MIXED USE	DENIED
	PZ-16-027	AVERY PARK DETAIL PLAN AMENDMENT	STATE HWY 46	PD	PD	SINGLE FAMILY	APPROVED
	PZ-16-028	HMT FOR MOSAIC / YANTIS	MORNINGSIDE / SOLMS	ETJ	ZHA		WITHDRAWN
	PZ-16-029	CITY OF NEW BRAUNFELS FOR CONNECTIONS SUP AMENDMENT	705 COMAL	C-2	SUP	TRANSITIONAL LIVING PROGRAM FOR UP TO 16 YOUTH AGES 15-21	APPROVED
July	PZ-16-030	TOMMY ATWELL	4975 IH 35	M-1	SUP	BULK STORAGE OF UP TO 20,000 GALLONS OF DIESEL FUEL IN ABOVEGROUND TANKS	APPROVED
	PZ-16-031	CLARISSA MORENO	683 GRUENE	R-1	SUP	TEA HOUSE	WITHDRAWN
	PZ-16-032	WASSER RANCH DETAIL PLAN	GOODWIN / ORION	M-1	PD	SINGLE FAMILY	APPROVED
	PZ-16-033	RIVER BLUFF AT GRUENE PD CONCEPT PLAN AMENDMENT	1185 GRUENE	PD	PD	MIXED RESIDENTIAL & SHORT TERM RENTALS	APPROVED
	PZ-16-034	CASEY DEVELOPMENT	INDEPENDENCE	MU-AR82	SUP	242 MULTIFAMILY UNITS WITH A MAXIMUM BUILDING HEIGHT OF 956.4	DENIED
	PZ-16-035	STEPHANIE BASCON	920 CASTELL	SUP	SUP	PARKING LOT TO BE CONSTRUCTED WITH CRUSHED GRANITE & STACKED	WITHDRAWN
	PZ-16-036	ROGER DURDEN FOR JUNG & ZAESKE	COUNTY LINE / FM 725	R-1, C-1, & APD	C-1B		APPROVED
	PZ-16-037	MIKE LANCASTER FOR GOODSSEN	3137 GOODWIN	APD	ZH-A		WITHDRAWN
Aug	PZ-16-038	WARREN WUNDERLICH FOR LUX FUNERAL HOME	1254 BUSINESS 35	C-3	SUP	CREMATORIUM AND AN INTERNAL GRAVEL DRIVE	DENIED
	PZ-16-039	POST ROAD PD - TIED TO PZ-16-040	1721 POST ROAD	PD	M-1A		APPROVED
	PZ-16-040	POST ROAD PD CONCEPT PLAN AMENDMENT TIED TO PZ-16-039	1721 POST ROAD	PD	PD	REDUCE BOUNDARY	APPROVED
	PZ-16-041	HMT FOR BADOUH	PAHMEYER / W. COUNTY LINE	APD	C-0		APPROVED
	PZ-16-042	GRUENE RIVER RESORT CENTER	1554 GRUENE	R-3L	SUP	EVENT CENTER	APPROVED

Zoning Changes and Special Use Permits - 2016

MONTH	Case No.	DESCRIPTION / APPLICANT	ADDRESS	CURRENT ZONING	PROPOSED ZONING	DESCRIPTION OF SUP / PD	STATUS
	PZ-16-043	CASTELL SD - SPECIAL NEIGHBORHOOD	424 CASTELL	M-1	SD		ON HOLD
Sept	PZ-16-044	STEVE WILSON	1669 KUEHLER	R-3	SUP	SHORT TERM RENTAL	APPROVED
	PZ-16-045	AGELENE GALLINI	611 COMMON	R-2	SUP	SMALL RETAIL	WITHDRAWN
	PZ-16-046	ARROYO VERDE PD	3137 GOODWIN	APD	PD	SINGLE FAMILY	APPROVED
Oct	PZ-16-047	CANYON RESERVE PD AMENDMENT	510 KOWALD	PD	PD	DUPLEXES	APPROVED
	PZ-16-048	WEST VILLAGE AT CREEKSIDE CONCEPT PLAN AMENDMENT	FM 1101	PD	PD	SINGLE FAMILY & SMALL RETAIL	APPROVED
Nov	PZ-16-050	COMAL RIVER TOOBS	444 SAN ANTONIO	C-4	SUP	PUBLIC ENTRANCE AND TAKE OUT	APPROVED
	PZ-16-051	DAVID REAUME	1833 KUEHLER	R-2	SUP	SHORT TERM RENTAL	WITHDRAWN
	PZ-16-052	HMT FOR ALPHRA	1200 FM 306	M-1	ZH-A		APPROVED
	PZ-16-053	THE RESERVE AT MOCKINGBIRD HEIGHTS PD	FM 1044 / LOU ANN DRIVE	APD	PD	SINGLE FAMILY	APPROVED
	PZ-16-054	STEVE DRENNER FOR WESTPOINTE	INDEPENDENCE / OAK RUN	C-1BR81	SUP	240 MULTIFAMILY RESIDENTIAL UNITS	WITHDRAWN
Dec	PZ-16-055	DAVID MARTIN FOR NISSAN	2077 IH 35	M-1	SUP	BULK STORAGE OF UP TO 4,000 GALLONS OF GASOLINE	APPROVED
	PZ-16-056	STEVE DRENNER FOR WESTPOINTE	1900 BLK INDEPENDENCE / OAK RUN	MU-AR82	SUP	RESTRICT THE MAXIMUM HEIGHT AND TO ALLOW UP TO 240 RESIDENTIAL UNITS	APPROVED
	PZ-16-057	RUSSELL KYSE	1965 POST	C-3	SUP	DEVIATIONS FROM ORDINANCE STANDARDS FOR BUILDING MATERIAL, RESIDENTIAL TREE BUFFER, AND SIGNAGE	APPROVED
	PZ-16-058	AMBER RIEDEL	662 Comal	C-2	SUP	SHORT TERM RENTAL	DENIED
	PZ-16-059	RICHARD ROY	1208 WALNUT	R-2	SUP	SHORT TERM RENTAL	APPROVED
	PZ-16-060	ARROYO VERDE PD DETAIL PLAN	3137 GOODWIN	PD	PD	SINGLE FAMILY	APPROVED
Jan	PZ-16-061	TRAVIS BATEY	476 MARKET	C-2	SUP	SHORT TERM RENTAL	APPROVED
	PZ-16-062	WISHLIST DIRECT	1260 BUSINESS 35	C-3 & R-2	SUP	MIXED-USE DEVELOPMENT INCLUDING OFFICE, DIGITAL PRINT SHOP, RETAIL, MUSIC STUDIO, AND RESIDENTIAL/BED	APPROVED
	PZ-16-063	AMANDA RANSOM FOR SCHRIEWER	160 NORTH	C-1	SUP	SHORT TERM RENTAL	APPROVED
Feb	PZ-16-064	DEREK SEIDEL	345 STEIN	R-2	C-1A	PLANNING COMMISSION 2/7/17, PP 3/7/17 WITHDRAWN PRIOR TO MEETING	WITHDRAWN
	PZ-16-065	SOLMS LANDING PD CONCEPT PLAN (SLPD)	2136 IH 35	MU-B	PD	MIXED USE	APPROVED
	PZ-16-066	HIGHLAND GROVE PD CONCEPT PLAN AMENDMENT	MORNINGSIDE / RUECKLE	PD	PD	SINGLE FAMILY	APPROVED

TOTAL

Month	Total	Plats Description	Amd Master Plan	Master Plan	TOTAL # LOTS - CITY	TOTAL # LOTS - OCL	TOTAL # OF ACRES	# of Comm'l Lots	Acreage of Comm'l Lots	Status
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Plats are a document, prepared by a registered surveyor or engineer, that delineates property lines and shows monuments and other landmarks for the purpose of identifying property for the purpose of sale, transfer, or ownership. The most common plat is for subdivisions. Subdivisions are the division or redivision of a lot, tract, or parcel of land into two or more lots, including changes in existing lot lines, showing the boundaries and location of individual properties, streets and other encumbrances such as easements. There are several types of plats in New Braunfels: master plans, preliminary plats, final plats, development plats, minor plats, amending plats, replats, vacating plats, and amended plats.

Jan	14	LONG CREEK SUBDIVISION UNIT 5				18	4.72			Recorded
		NCB 5110			2		0.79			Recorded
		VINEYARD AT GRUENE SUBDIVISION PHASE 2 LOT 7 REPLAT			5		0.32			Recorded
		VINEYARD AT GRUENE SUBDIVISION PHASE 2 LOT 11 REPLAT			3		0.30			Approved
		VERAMENDI SCHOOL SECTOR PLAN				2	19.78	2	19.78	Approved
		THE SILOS UNIT 2			86		22.89			Approved
		OAKWOOD ESTATES UNIT 17 & 18			2		0.60			Approved
		COPPER RIDGE PHASE 3B & PHASE 5				1	2.33			Recorded
		FOREST PARK LOT 2 & 3			2		2.52			Recorded
		VERAMENDI 1-1 (SCHOOL)				1	19.50	1	19.77	Approved
		I35 LOGISTICS CENTER			4		30.06	4	30.06	Recorded
		RIDGEMONT UNIT 2A			6		1.12			Recorded
		RIDGEMONT UNIT 2B			38		14.54			Approved
		THE RESERVE AT MOCKINGBIRD HEIGHTS			25		11.89			Approved
		ELLEY LANE UNIT 1				100	22.77			Recorded
		THE VILLAGE AT CLEAR SPRINGS MASTER PLAN	137		137		60.92			Approved
		THE VILLAGE AT CLEAR SPRINGS COMMERCIAL UNIT 2			6		23.60	6	23.60	Recorded
		POST ROAD DEVELOPMENT MASTER PLAN (AKA HEATHER GLEN)		783	783		187.50			Approved
Feb	16	MANOR CREEK UNIT 5B			49		23.59			Recorded
		PARKRIDGE ESTATES UNIT 2			61		14.18			Recorded
		AUTOMATCH			2		12.44	2	12.44	Recorded
		OLD MILL CROSSING			1		5.34	1	5.34	Recorded
		THE CROSSINGS AT HAVENWOOD MASTER PLAN	184			184	88.48			Approved
		THE CROSSINGS AT HAVENWOOD UNIT 1				53	26.46			Recorded
		THE SETTLEMENT AT GRUENE UNIT 1			66		20.79			Approved
		THE SETTLEMENT AT GRUENE UNIT 2			59		18.12			Recorded
		ACADEMY HILL			3		0.78			Recorded
		ELLEY LANE MASTER PLAN AMENDMENT	247			247	55.49			Approved
		LONG CREEK SUBDIVISION UNIT 1 BLOCK 6 LOT 1A				1	0.39			Recorded
		CYPRESS RAPIDS AT GRUENE MASTER PLAN AMENDMENT	18		18		3.76			Approved

Month	Total	Plats Description	Amd Master Plan	Master Plan	TOTAL # LOTS - CITY	TOTAL # LOTS - OCL	TOTAL # OF ACRES	# of Comm'l Lots	Acreage of Comm'l Lots	Status
		CANYON RESERVE			25		5.55			Approved
		GRUENE ARBORS			18		3.76			Recorded
		HEB NEW BRAUNFELS #1			1		1.26	1	1.26	Approved
		VERAMENDI SECTOR PLAN 1A (SCHOOL)				854	273.37		273.37	Approved
Mar	5	VOSS FARMS RISING SUN			3		2.59			Recorded
		OAK RUN COMMERCIAL RESERVE UNIT 11B			4		4.18	4	4.18	Recorded
		HUISACHE HILLS LOT 5E-1 & 5E-2				2	15.03			Recorded
		SCHOENTHAL RANCH LOTS 3A & 4A				2	12.97			Recorded
		ROCKWALL RANCH UNIT 2 LOT 17 & 18				1	2.36			Recorded
April	14	COPPER RIDGE PHASE 3B BLOCK 1 LOT 10 & 11 EST 11R				1	2.24			Recorded
		SAENGERHALLE UNIT 4			88		24.63			Approved
		WESTPOINTE TRACT A			1		9.90	1	9.90	Withdrawn
		WESTPOINTE TRACT B			1		1.70	1	1.70	Withdrawn
		WESTPOINTE TRACT D			4		13.60	4	13.60	Withdrawn
		VOSS FARMS SCHOOL			1		16.85			Approved
		GRUENE WALD AMENDING PLAT			3		8.49			Recorded
		VACATE AMENDMENT TO HAVENWOOD AT HUNTERS CROSSING UNIT 3 LOT 249A RETURN TO LOTS 249 & 250				2	2.00			Recorded
		HIGH POINT UNIT 2 LOTS 2R-1, 2R-2 & 2R-3			3		15.60			Denied
		QUAIL VALLEY SUBDIVISION COMMERCIAL TRACT A			1		4.63	1	4.60	Approved
		QUAIL VALLEY SUBDIVISION COMMERCIAL TRACT B			1		1.69	1	1.69	Recorded
		QUAIL VALLEY SUBDIVISION COMMERCIAL TRACTS C, D & E			3		7.61	3	7.61	Approved
		TOWN CREEK UNIT 1 LOT 2R			6		0.47			Recorded
		HIGHLAND PARK ADDITION LOT 4A BLOCK 12			1		0.40	1	0.40	Recorded
May	8	THE RANCHES OF COMAL LOT 21				1	14.61			Recorded
		LAUBACH SUBDIVISION				100	22.14			Approved
		CLOUD COUNTRY UNIT 3			65		15.98			Recorded
		CLOUD COUNTRY UNIT 4			110		29.74			Approved
		COUNTRY MEADOWS LOT 5AR			1		5.69			Recorded
		CITY PARK ON 1044			1		4.02			Recorded
		HEATHER GLEN UNIT 1 (POST ROAD PD)			63		18.64			Approved
		HEATHER GLEN UNIT 2 (POST ROAD PD)			147		53.93			Approved
June	12	CLEAR SPRINGS RANCH			1		4.90	1	4.90	Recorded
		MAGNOLIA SPRINGS UNIT 8			126		33.10			Approved
		WALNUT SQUARE SHOPPING CENTER LOT 2			3		5.53	3	5.53	Approved
		GRUENE RIVER RESORT CENTER			3		8.72			Recorded
		DEAN UNIT 2			40		8.10			Recorded

Month	Total	Plats Description	Amd Master Plan	Master Plan	TOTAL # LOTS - CITY	TOTAL # LOTS - OCL	TOTAL # OF ACRES	# of Comm'l Lots	Acreage of Comm'l Lots	Status
		HIGHLAND PARK ADDITION BLOCK 21 LOT 10A & 11A			2		0.42			Approved
		LAUBACH MASTER PLAN		306		306	77.47			Approved
		LAUBACH UNIT 2A				1	3.16			Approved
		WASSER RANCH MASTER PLAN		303	303		102.92			Approved
		WASSER RANCH UNIT 1			79		24.08			Approved
		BENTWOOD COMMERCIAL UNIT 3			1		2.62	1	2.62	Recorded
		KENSINGTON OF NEW BRAUNFELS			1		8.80	1	8.80	Recorded
July	11	900 HOLLYHOCK LANE			1		0.49			Recorded
		LEGEND POND LEGEND POINT PHASE 5			52		10.96			Approved
		RIVER BLUFF AT GRUENE UNIT 2			3		1.31			Recorded
		HIGH POINT UNIT 2 LOTS 2R-1 & 2R-2			2		15.60			Approved
		CREEKSIDE FARMS MASTER PLAN REPLACED BY PL-16-090		0	0		0.00			Withdrawn
		CREEKSIDE FARMS UNIT 1 REPLACED BY PL-16-089			0		0.00			Withdrawn
		VOSS FARMS MASTER PLAN AMENDMENT	561		561		161.50			Approved
		VOSS FARMS UNIT 7			48		10.60			Approved
		AVERY PARK UNIT 11 AMENDING			14		2.47			Recorded
		CROSSINGS AT HAVENWOOD UNIT 2				42	21.86			Approved
		COPPER RIDGE UNIT 4 LOTS 166, 167 & 168 AMENDING				1	4.27			Recorded
Aug	13	CIRCLE K T1427			1		3.56	1	3.56	Recorded
		COPPER RIDGE PHASE 5 BLOCK A LOT 104 & 105 EST 104R				1	2.02			Recorded
		VACATE AMENDMENT TO HAVENWOOD AT HUNTERS CROSSING UNIT 3 LOT 451R RETURN TO LOTS 451 & 452				2	2.58			Recorded
		WESTPOINTE UNIT 3 LOT 1D & 1E			2		1.34	2	1.34	Recorded
		TITAN INDUSTRIAL NB PARK ROW			1		1.47	1	1.47	Approved
		CONRADS ROAD UNIT 1			2		23.78	2	23.78	Recorded
		MISSION HILL MEDICAL & PROFESSIONAL VILLAGE LOT 6A, 7 & 8			3		1.18	3	1.18	Recorded
		NEW BRAUNFELS UTILITIES GRUENE FACILITY			2		30.03	2	30.03	Approved
		CREEKSIDE FARMS UNIT 1			128		25.21			Approved
		CREEKSIDE FARMS MASTER PLAN	423		423		77.94			Approved
		LEGEND POND LEGEND POINT PHASE 7			63		11.26			Approved
		SUNGATE COMMERCIAL LOT 2			1		3.05	1	3.05	Recorded
		COPPER RIDGE PHASE 3A LOTS 4 & 5 EST 5R				1	2.01			Recorded
SEP	13	GUADA COMA ESTATES UNIT 6 LOTS 30, 31 & 28R				3	16.99			Approved
		LEGEND POND LEGEND MEADOWS PHASE 4			67		12.51			Approved
		HILLSIDE ON LANDA UNIT 1			4		0.75			Recorded
		SUNGATE UNIT 8 BLOCK 9 LOT 272R			1		0.22			Recorded
		LEGEND POND LEGEND POINT PHASE 1 LOT 1 & 2			2		0.31			Recorded

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		LUXE CREEKSIDE			1		21.46	1	21.46	Recorded
		HEALTH COMMONS			2		29.75	2	29.75	Recorded
		NEWCOMBE TENNIS RANCH UNIT 4 LOT 36R-38R & 41R				3	1.72			Approved
		FIELDS OF MORNINGSIDE BLOCK 5 LOTS 7R & 8R			2		0.41			Recorded
		FELLERS LOT 3R & 4R			2		17.36			Recorded
		RIDGEMONT UNIT 1 LOT 21 & 61			106		28.73			Recorded
		RIVER CLIFF ESTATES UNIT 1 LOT 38, 39, 40 & 41				3	1.07			Approved
		CANYON RESERVE			20		5.55			Approved
OCT	12	RIVER CHASE UNIT 6 LOTS 715 & 716 EST 715R				1	2.46			Recorded
		CROSSINGS AT HAVENWOOD UNIT 3				54	20.51			Approved
		COPPER RIDGE THE ADDITION SOUTH PHASE				67	117.43			Approved
		HIGHLAND GROVE UNIT 5			37		8.13			Approved
		JUNG TRACT MASTER PLAN (CIRCLE K T1569)		2	2		14.99	2	14.99	Approved
		JUNG TRACT (CIRCLE K T1569)			1		3.00	1	3.00	Approved
		WELTNER FARMS MASTER PLAN		180	180		60.00			Approved
		HUNTERS CREEK BUSINESS PARK LOT 11AR1 & 11AR2			2		3.34	2	3.34	Approved
		HUNTERS CREEK BUSINESS PARK LOT 1AR1 & 2AR2			2		2.07	2	2.07	Approved
		BEAR CREEK HILLS UNIT 4 LOT 23				0	0.00			Withdrawn
		RIO VISTA ADDITION BLOCK 4 LOT 1			2		1.78			Recorded
		KREUSLERVILLE LOT 9 & 10				2	1.82			Recorded
NOV	8	LANDA PARK ESTATES BLOCK 19, LOTS 8A - 11A			1		0.17			Recorded
		COPPER RIDGE PHASE 5 BLOCK J LOT 7 & 8 EST 8R				1	2.05			Recorded
		DEER CREST MASTER PLAN		359		359	75.65			Approved
		DEER CREST UNIT 1				82	29.69			Approved
		GRUENE CROSSING OFFICE PARK BLOCK 2 LOT 10B			1		8.19	1	8.19	Approved
		MISTY ACRES BLOCK 3 LOT 6R-1, 62-1& 6R-3			0		0.00			Withdrawn
		CORDOVA LOT 5B REPLAT				2	66.97			Recorded
DEC	23	RIVER BEND UNIT 1 LOT 131				1	0.30			Recorded
		COPPER RIDGE PHASE 3B BLOCK A LOT 88 & 89 EST 88R				1	2.00			Recorded
		LIFEHAUS INDUSTRIAL PARK UNIT 4			3		3.38	1	3.38	Approved
		RIVER CHASE UNIT 2 LOTS 177 & 178 EST 177R				1	5.78			Recorded
		SPENCER LAND				0	0.00			Withdrawn
		SCHLATHER LOTS 2AR & 3AR			2		3.20			Recorded
		CROSSINGS AT HAVENWOOD UNIT 4				46	19.23			Approved
		THE PRESERVE UNIT 6				16	17.45			Approved
		MALDONADO MASTER PLAN	157			157	76.12	2		Approved
		MALDONADO UNIT 1				79	15.07			Approved

Month	Total	Plats Description	Amd Master Plan	Master Plan	TOTAL # LOTS - CITY	TOTAL # LOTS - OCL	TOTAL # OF ACRES	# of Comm'l Lots	Acreage of Comm'l Lots	Status
		MALDONADO UNIT 2				39	10.21			Approved
		THE PRESERVE UNIT 1 LOT 1 BLOCK 2				1	17.55			Approved
		ARROYO VERDE MASTER PLAN		99	99		41.37			Approved
		ARROYO VERDE UNIT 1			52		10.30			Approved
		CREEKSIDE FARMS #2 MASTER PLAN	480		480		77.94			Approved
		SAMS PLACE			1		1.37	1	1.37	Recorded
		DEER CREST MASTER PLAN #2	438			438	145.20			Approved
		BEAR CREEK HILLS UNIT 4 LOT 23				3	27.56			Approved
		WEST VILLAGE AT CREEKSIDE UNIT 8 LOTS 77R – 81R, 74R, & 84R – 87R			10		1.68			Approved
		COMAL COUNTY JAIL			1		11.67	1	11.67	Approved
		MORNINGSIDE TRAILS MASTER PLAN		443		443	110.57			Approved
JAN	4	GRUENE STATION MASTER PLAN		205	205		69.97			Approved
		VACATE AMENDMENT TO PLAT FOR ROCKWALL RANCH UNIT 2 LOT 28R RE ESTABLISHING 28 & 29				2	2.64			Recorded
		BREWED AWAKENINGS			1		0.14	1	0.14	In Progress
		MISTY ACRES BLOCK 3 LOT 6R-1, 6R-1 & 6R-3			3		2.87			Approved
FEB	15	COPPER RIDGE PHASE 4 LOT 172 & 173 EST 172R				1	2.06			Recorded
		VBM NEW BRAUNFELS PHASE 2			1		5.16			Approved
		NCB 1019 BLOCK 30 LOTS 269 & 270 EST 270R			1		1.26			Recorded
		SOLMS LANDING PD			0		97.97			In Progress
		HIGHLAND GROVE MASTER PLAN AMENDMENT	767		767		228.68			Approved
		HIGHLAND GROVE UNIT 10			63		32.34			Approved
		JENTSCH ACRES LOT 60BR & 61AR			2		1.13			Recorded
		WEST VILLAGE AT CREEKSIDE UNIT 7			33		6.87			Approved
		NCB 2016 LOT 32R			1		0.72			Recorded
		GRUENE STATION MASTER PLAN #2	0		0		0.00			Withdrawn
		GRUENE STATION UNIT 1			4		22.22			Approved
		GRUENE STATION UNIT 2			56		14.10			Approved
		PLAZA CONDOMINIUMS			1		0.66			Approved
		LANDA PARK HIGHLANDS UNIT 1 LOTS 29R, 30R-1& 30R-2			3		4.00			Approved
		THE MEADOWS LOTS 52R & 53R			2		2.34			Recorded
TOTAL	168		3412	2680	6001	3729	3634.01	68	614.90	

Zoning Board of Adjustment - 2016

MONTH	NO.	NAME	VARIANCE FOR	ADDRESS	STATUS
Variances, when granted, are permission to depart from the standards of the Zoning Ordinance when, because of special circumstances applicable to the physical property, strict application of the provisions of the standards of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity that is under identical zoning.					
Jan	2	NO MEETING			
		NORRIS	EGRESS	CONRADS	Withdrawn
		KENNETH & EDWINA BAKER	BUILDING HEIGHT	369 CALIFORNIA BLVD	Withdrawn
Feb	3	PATRICK BOEDERER	SIDE SETBACK	2239 KENSINGTON WAY	Withdrawn
		DANIEL & ELIZABETH DE LOS SANTOS	FRONT SETBACK	937 RIVER TERRACE	Denied
		ROGER DURDEN	MASONRY WALL AND LANDSCAPE BUFFER -	2475 IH 35	Denied
Mar	1	RYAN TARJAN	FRONT SETBACK	547 W NACOGDOCHES ST	Approved
Apr	3	TEAL HANZEL (ADAM'S RIVER RESORT)	BUILDING HEIGHT AND MASONRY WALL IN	1228 ERVENDBERG AVE	Denied
		TIM WHITE	FRONT SETBACK & GARAGE SETBACK	318 N GUENTHER AVE	Denied
		ROBERT & SUSAN LILEY	RAER SETBACK	2213 BENTWOOD DR	Denied
May	2	SAM & MARY MIMS	ALLOW PARKING IN FRONT OF THE PRIMARY	170 S WALNUT AVE	Withdrawn
		STEPHANIE BASCON	PARKING LOT, PARKING SPACES, LANDSCAPE	920 S CASTELL AVE	Withdrawn
June	4	ALTA TOWERS (HANZ DR TOWER)	APPEALING DENIAL OF BUILDING PERMIT	1421 HANZ DR	Denied
		GREG SMITH	REAR SETBACK	1014 HAYSELTON AVE	Approved
		HMT FOR SUNGATE	SIDE SETBACK	1647 SUN BAY	Denied
		HMT FOR SUNGATE	SIDE SETBACK	2305 SUN STONE PL	Approved
July	2	BRIDGET CAVALLARO	FRONT FENCE HEIGHT	1432 JERICO RDG	Approved
		RICK CROOKS	REAR FENCE HEIGHT	519 LODGE CREEK DR	Approved
Aug	0				
Sept	2	JOE KEEN	FRONT SETBACK	61 GUADA COMA DR	Approved
		JOHN AND SARA KILSBY	SIDE SETBACK	1309 CROSS ST	Approved
Oct	3	DD AMES	SIDE SETBACK	1071 STATE HWY 46	Approved
		HMT	LOT WIDTH & LOT SIZE	998 HAYSELTON AVE	Denied
		MITESH PATEL	REAR SETBACK & PARKING REQUIREMENT	1071 SH 46 SOUTH	Denied
Nov	0				
Dec	5	SHANE BOSCAMPT	FRONT SETBACK	5130 IH 35	Approved
		WILLIAM BRYAN	LOT WIDTH & LOT SIZE	939 HAYSELTON AVE	Approved
		CHUCK DAVIS	FRONT SETBACK	72 GUADA COMA DR	Approved
		TRAVIS BATEY	SPECIAL EXCEPTION FOR PARKING	476 N MARKET AVE	Withdrawn
		TRAVIS BATEY	LANDSCAPE BUFFER	476 N MARKET AVE	Withdrawn
TOTAL	27				

MISCELLANEOUS REQUESTS/APPLICATIONS - 2016

REVIEWED / APPROVED BY:	DESCRIPTION	NUMBER OF CASES
City Council	Parking by Permit Only (Process has been moved to Engineering)	0
	Appeal of Building Design Standards	11
	Appeal of Roadway Impact Fees	0
	Conditional Sign Permits	7
	Conversion of private street to public	0
	Development Agreement	0
	License Agreement	0
	Ordinance Amendments	10
	Other	6
	Fee waiver	1
	Annexation	1
Historic Landmark Commission	Landmarks	1
	Alterations/Additions	7
	Tax Credits / Incentive	1
Historic Preservation Officer	Repair and Maintenance	4
	Demolitions (Residential)	31
	Demolitions (Commercial)	9
	Permits	5
Planning Staff	Tree Removal Permits	25
	Vendor Permits	38
	Temporary Banners	22
	Short Term Rental Permits	9
	Zone Verifications letters	24
	Temp Street Banners	43
	Open Records Requests	103
TOTAL		358

**NEW ** Planning review of Bldg permits (not all residential permits are reviewed by Planning)	Residential Permits	1389
	Commercial Permits	332
	Home Move	3
	Sign permits	74
	Historic	5
	Residential Demo	31
	Commercial Demo	9
	Flood Permits	47
	Commercial Site Development	5
	Commercial Subdivision (SC)	2
TOTAL		1897